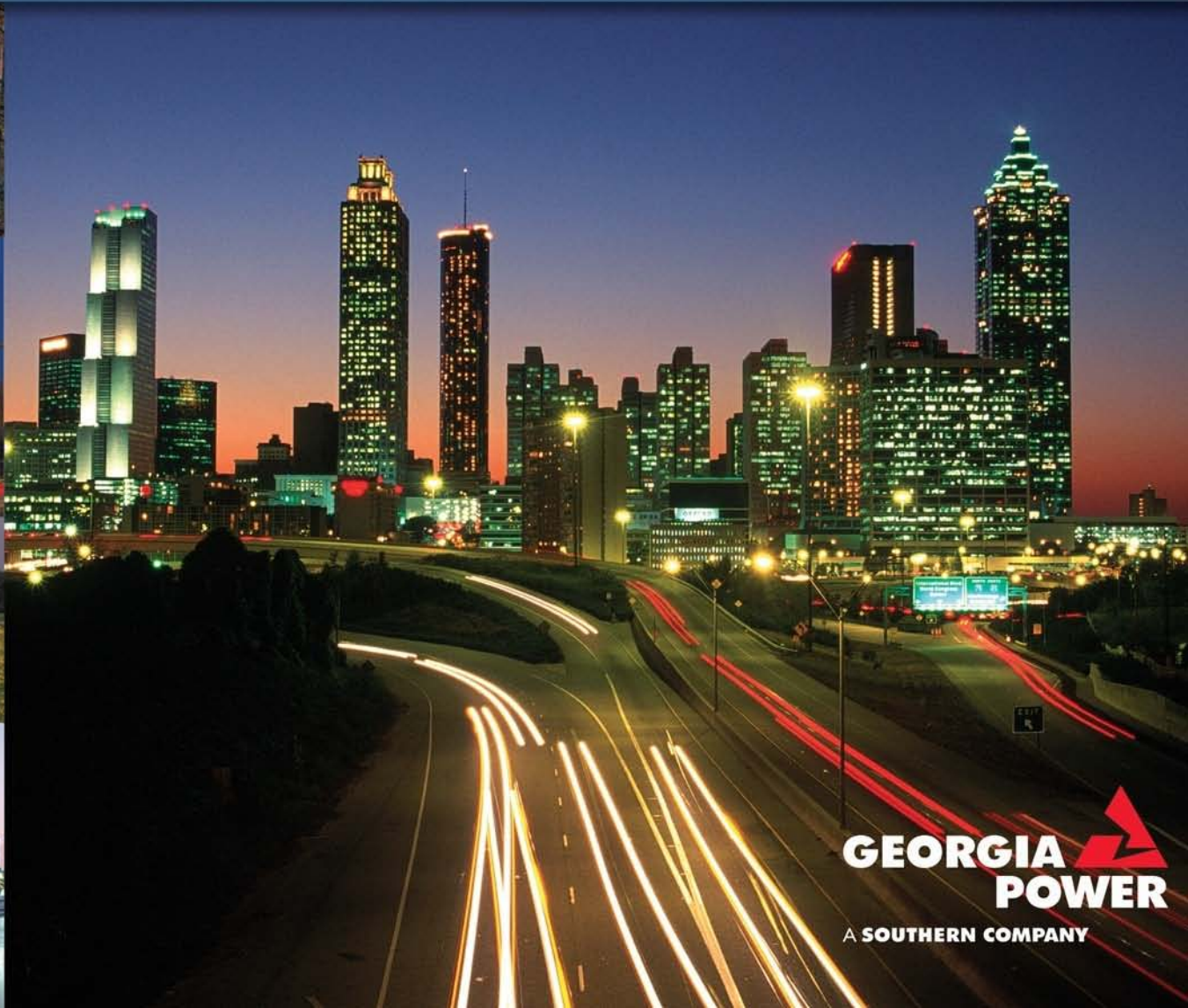


# Georgia Power Community & Economic Development



**GEORGIA  
POWER**  
A SOUTHERN COMPANY

A long time ago in a galaxy far, far away...



©1977 Twentieth Century-Fox

TWENTIETH CENTURY-FOX Presents  
A LUCASFILM LTD. PRODUCTION  
**STAR WARS**  
Starring MARK HAMILL HARRISON FORD CARRIE FISHER  
PETER CUSHING  
and  
ALEC GUINNESS  
Written and Directed by GEORGE LUCAS Produced by GARY KURTZ Music by JOHN WILLIAMS  
PANAVISION® PRINTS BY DE LUXE® TECHNICOLOR®  
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# Episode IV A New Hope

“A long time ago in a galaxy far, far away?”

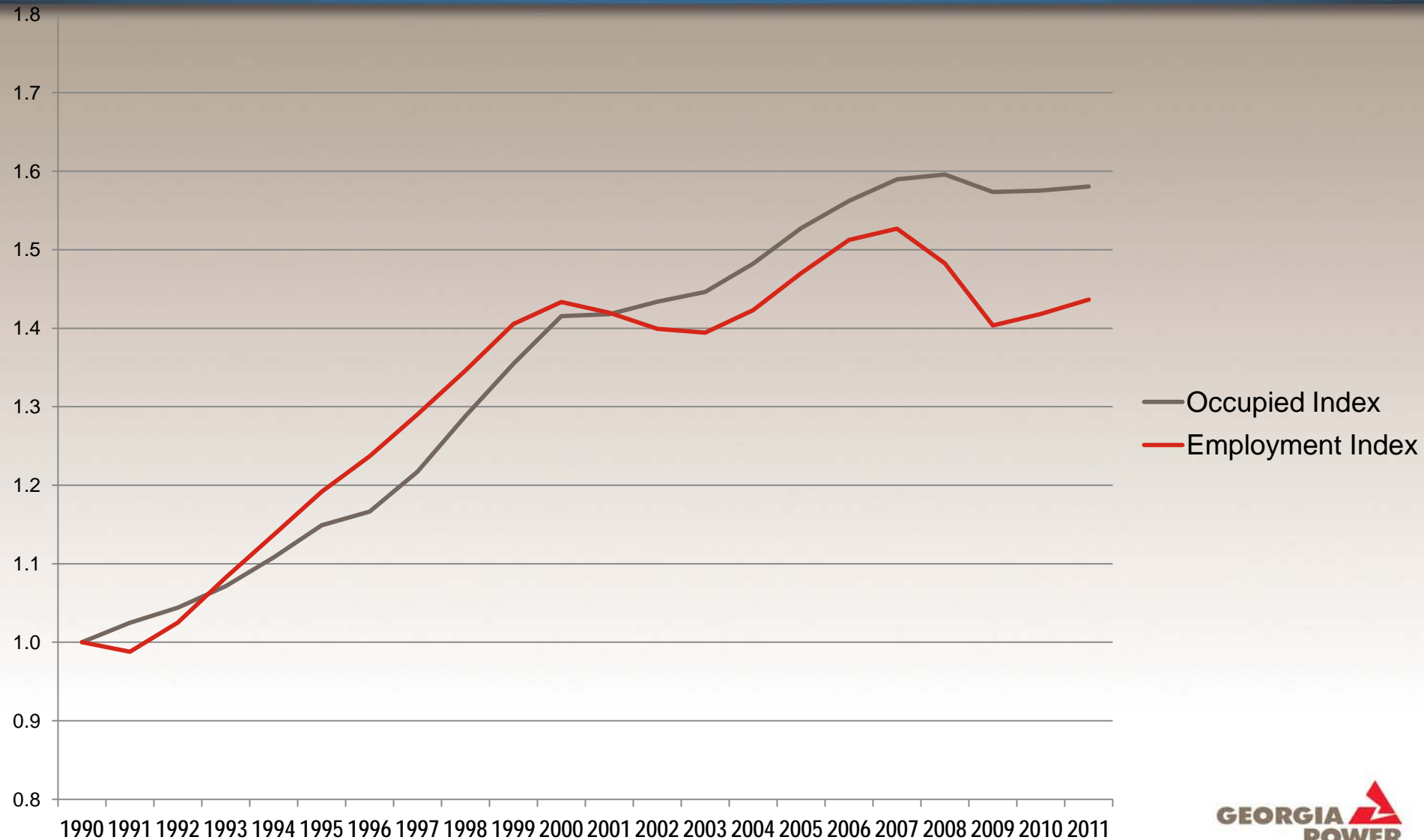
# “Phantom Menace or real concern?”

- Jobs
- In-migration
- Foreclosures
- Housing prices
- Permits
- Meter sets
- Commercial office overhang



# “Phantom Menace”?

## Commercial Office Overhang in Atlanta



Source: Bureau of Labor Statistics and Costar

Community & Economic Development



# The Unknown Impacts of Mobility on Commercial Office Space

- The cell phone & tablets – By 2016, 4.5 Billion mobile consumers (more than half the people on Earth).
- Over 18.9 billion IP addresses – 2.5 for every person on Earth.
- Video will be key driver and is projected to increase five fold.
- Location becomes less important.

Source: Cisco Visual networking Index Forecast 2012-2016

# The Unknown Impacts of Telework on Commercial Office Space

- More teleworkers – IBM leads the way, but since 2003
  - Records clerks up 516%
  - Insurance underwriters up 275%
  - Lawyers up 166%
  - Software developers up 127%
  - Not for profits leading the way

Source: U.S. Census Bureau and “*The Incredible Disappearing Office: Making Telework Work*”

# The Relentless Drive to Reduce Business Costs will pressure Commercial Office Space

- Increased productivity through new software tools
- Few workers – more outsourcing
- More BYOD by workers
- Lower communication costs - Verizon
- Need to reduce Real Estate costs
- Need to reduce energy costs
- Desire for more flexibility by employees

# Episode V

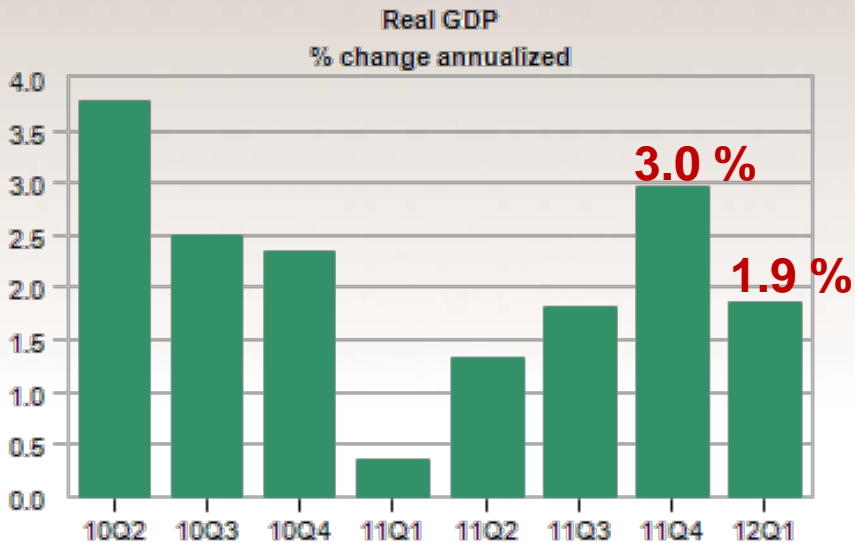


“Will the Jedi prevail or will the Empire strike back?”





# U.S Macro Economic Trends – Slow Healing Economy



## Hiring by Businesses Takes a Breather

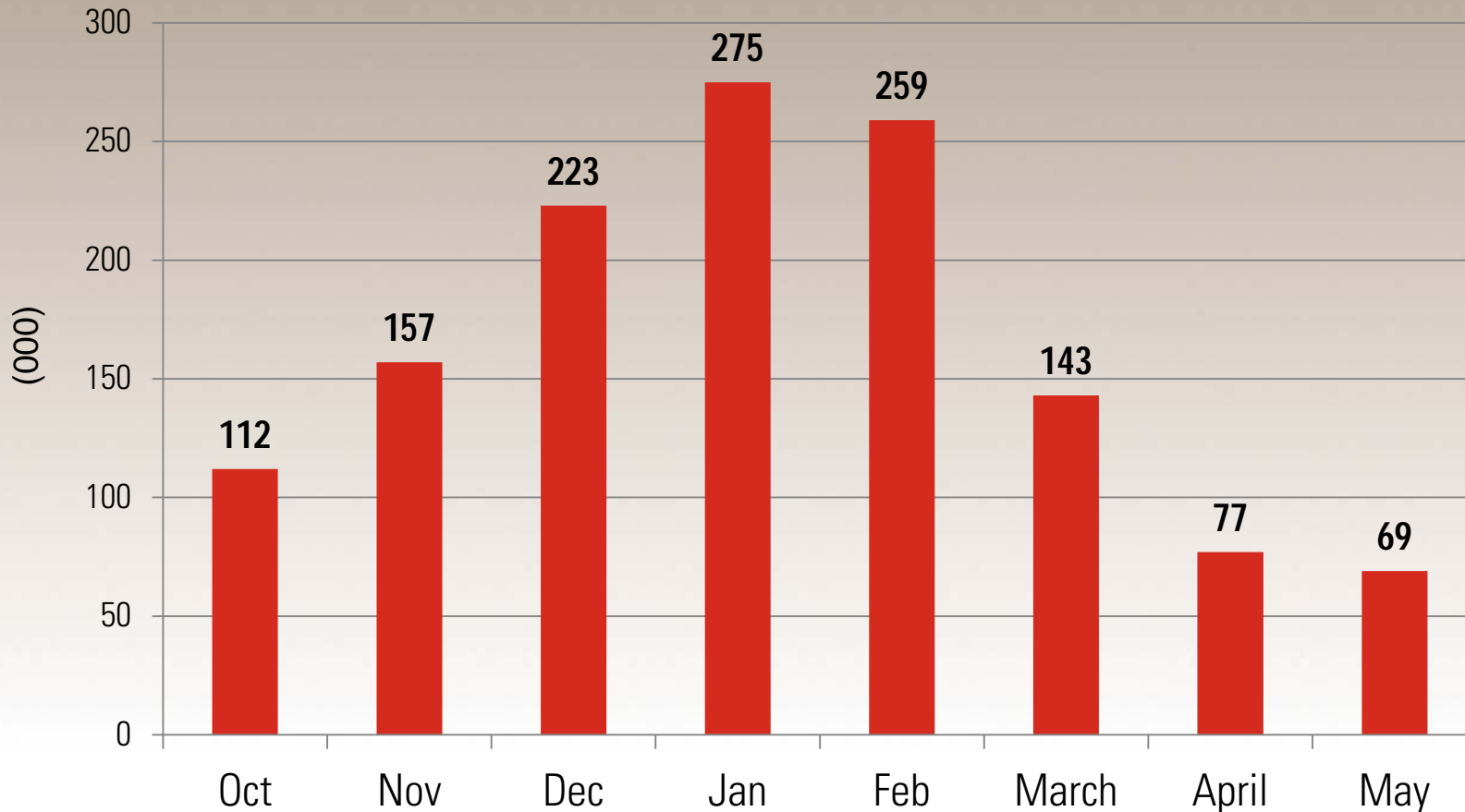
Moody's Analytics Business Confidence Indexes, 4-wk MA



Source: Moody's Analytics

# The U.S. Economy: Fragile, Business Needs Groove

## Net Change in U.S. Nonfarm Payroll Employment, Oct 2011- May 2012

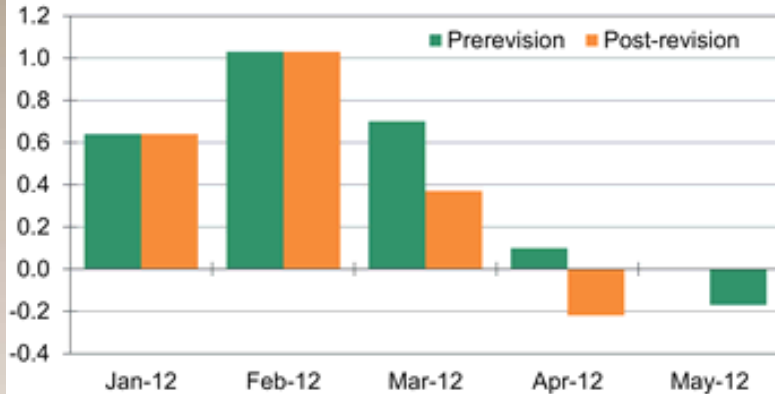


Source: Moody's Economy.com, June 2012

# The Latest Data Points Not Promising

## Revisions Were Significant and Unkind

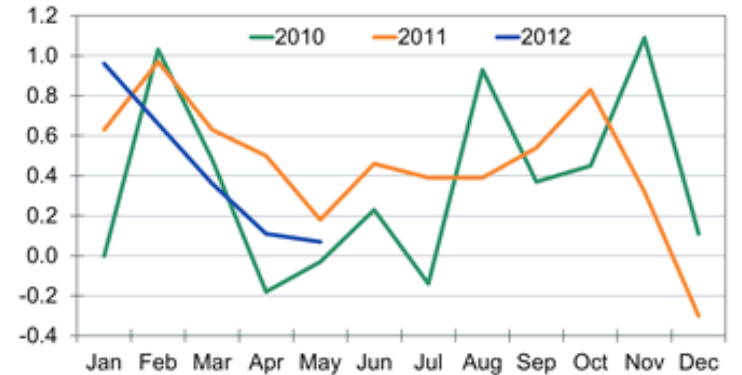
Retail sales, % change



Sources: Census Bureau, Moody's Analytics

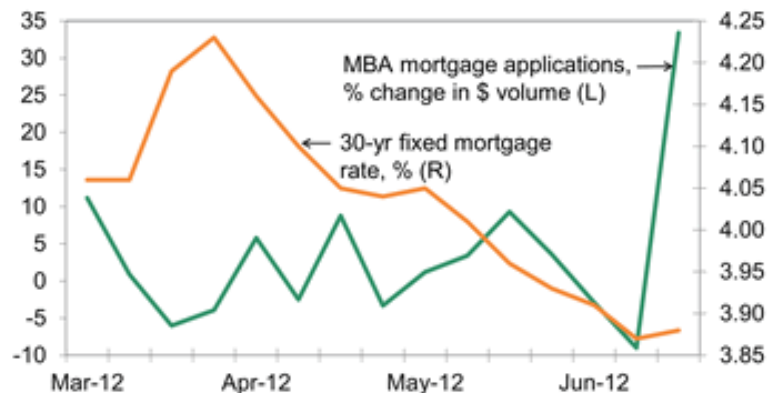
## Spending in the Midst of Another Spring Slump

Nonauto retail sales ex gasoline and building materials, % change



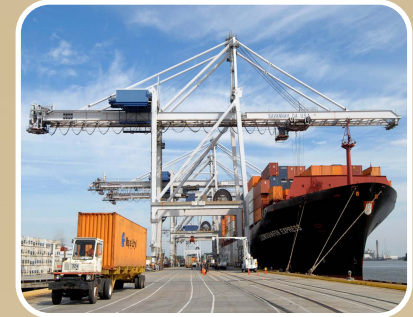
Sources: Census Bureau, Moody's Analytics

## U.S. Mortgage Applications Surge on Low Rates



Sources: Copyright ©Mortgage Bankers Association, June 2012. All rights reserved, Moody's Analytics

# The Atlanta Economy: In Recovery



## Job growth return:

Positive growth in 2011, 1.3%

Unemployment doesn't drop below 8% until 2013

## Industries showing signs of recovery:

- Professional & business services
- Manufacturing
- Education & health
- Logistics, transportation, utilities

## Industries still showing hardships:

- Government
- Financial
- Construction
- Information
- Commercial real estate market

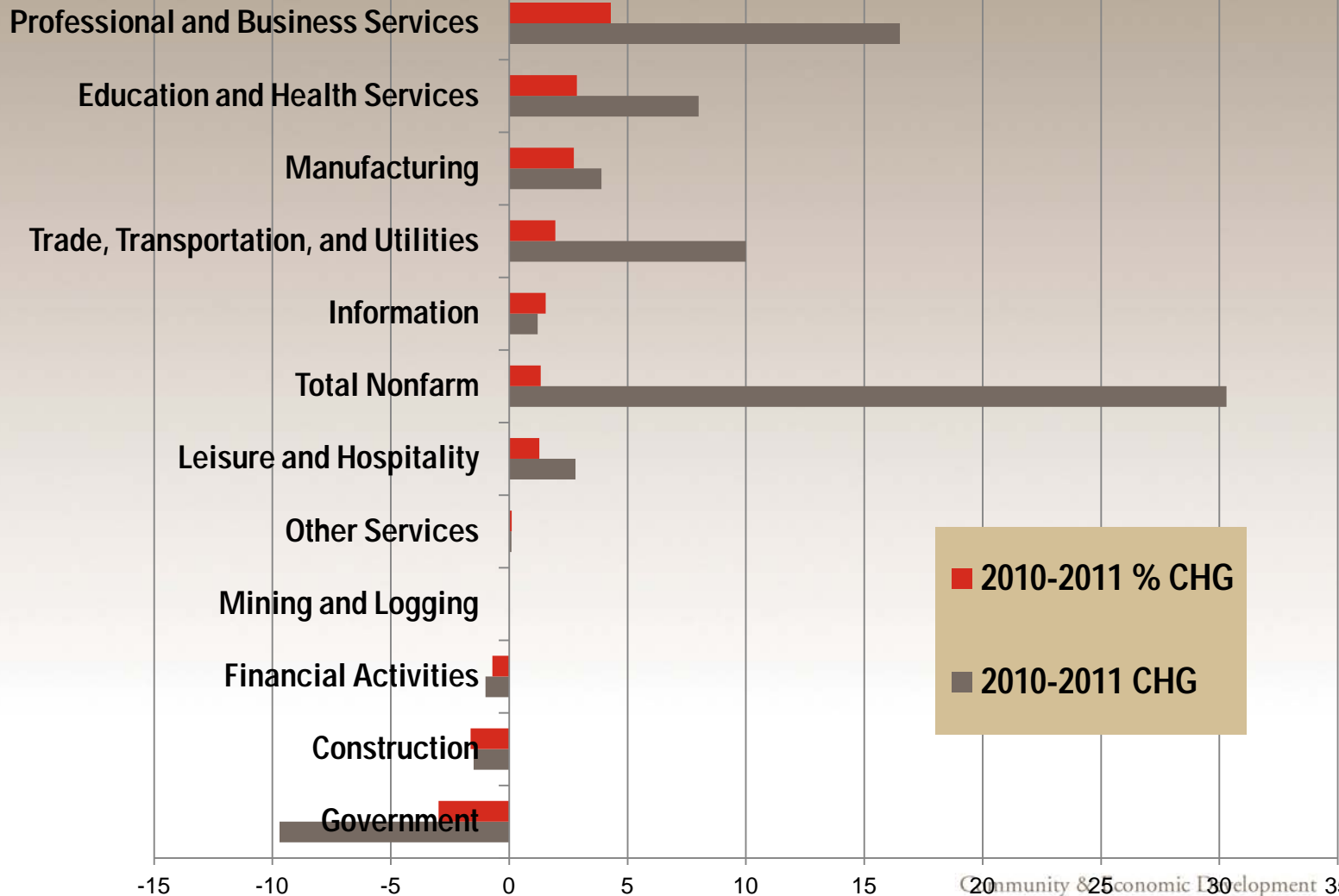
## Reasons for Optimism

- Convention business
- GA Ports
- Logistics/Airport
- Renewed manufacturing growth
- Jobs return sooner than expected



# The Atlanta Economy: In Recovery

2010- 2011: % Change from a year ago

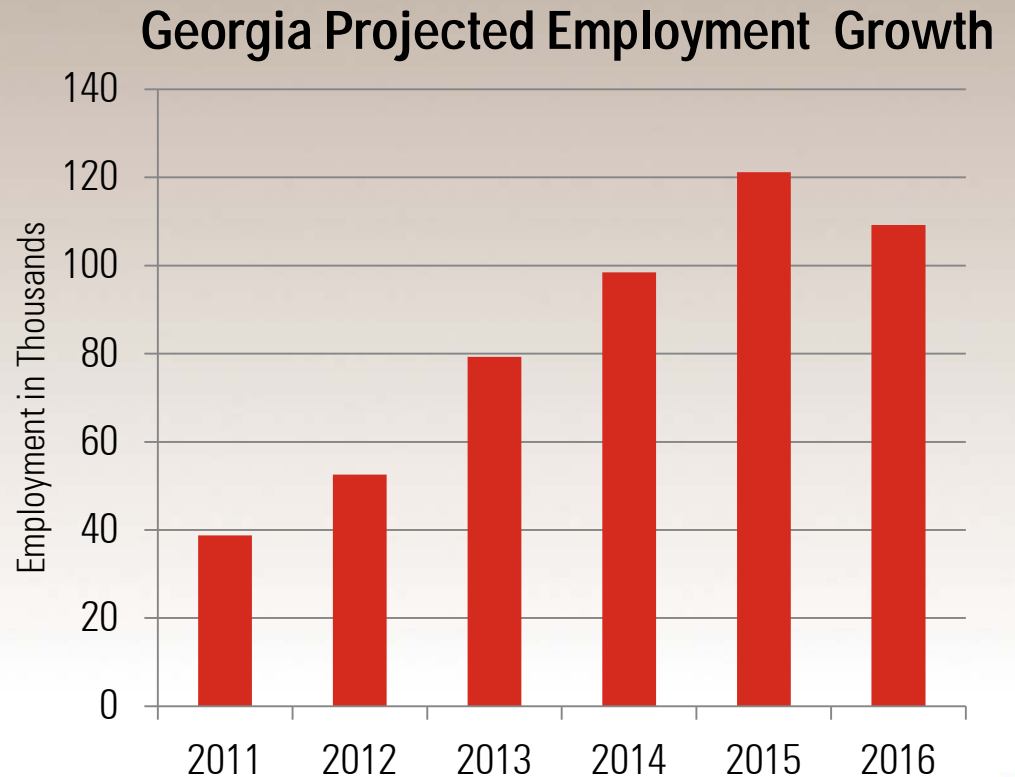
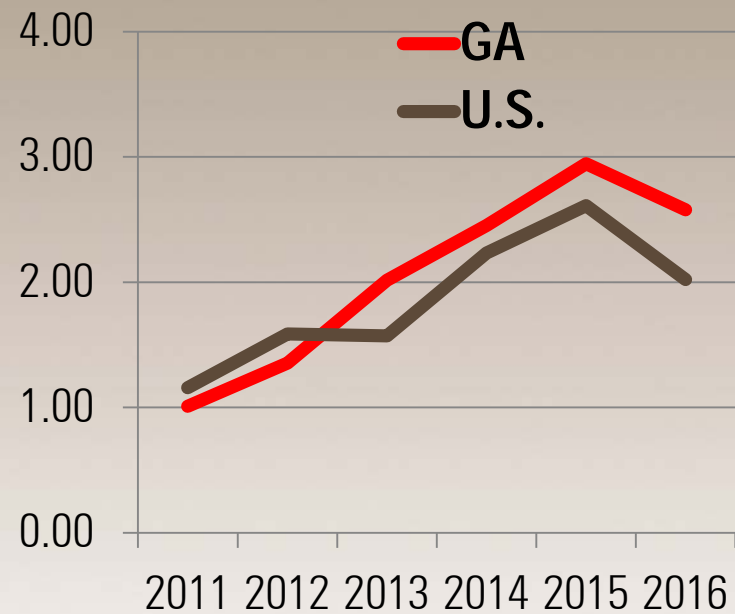


# The Atlanta | GA Economy: Where are the Jobs?

|                                       | 2011    | 2012   | 2013   | 2014    |         |
|---------------------------------------|---------|--------|--------|---------|---------|
| <i>Georgia</i><br><b>2011= 37,300</b> | 38,800  | 42,600 | 54,500 | 73,400  | GSU     |
|                                       | -12,400 | 17,900 | N/A    | N/A     | UGA     |
|                                       | 40,500  | 57,200 | 81,900 | 110,000 | Moody's |
| <i>Unemployment Rate</i>              | 9.8%    | 8.9%   | 8.5%   | 7.3%    |         |
| <i>Atlanta</i><br><b>2011= 28,900</b> | 30,300  | 36,600 | 41,500 | 53,900  | GSU     |
|                                       | -13,500 | 8,900  | N/A    | N/A     | UGA     |
|                                       | 30,300  | 33,200 | 56,200 | 72,900  | Moody's |
| <i>Unemployment Rate</i>              | 10.0%   | 9.0%   | 8.5%   | 7.4%    |         |

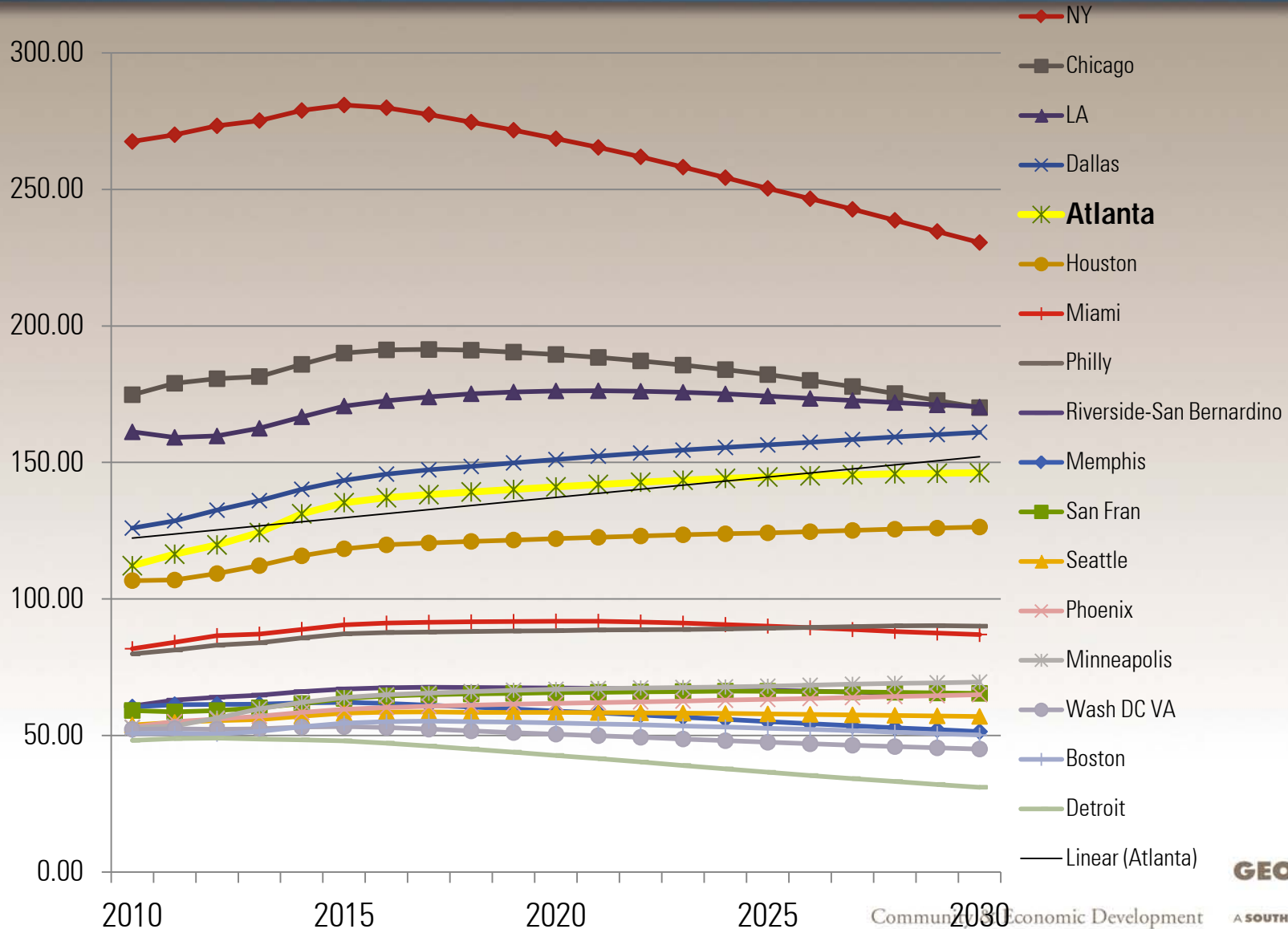
Source: Forecasts as of June 2012 (May 2012 – GSU;  
Moody's- March 2012; UGA- Dec 2011)

# Positive Employment Forecast



# Top Metro Markets in Warehousing | DC (ATL=5)

## 2010-2030

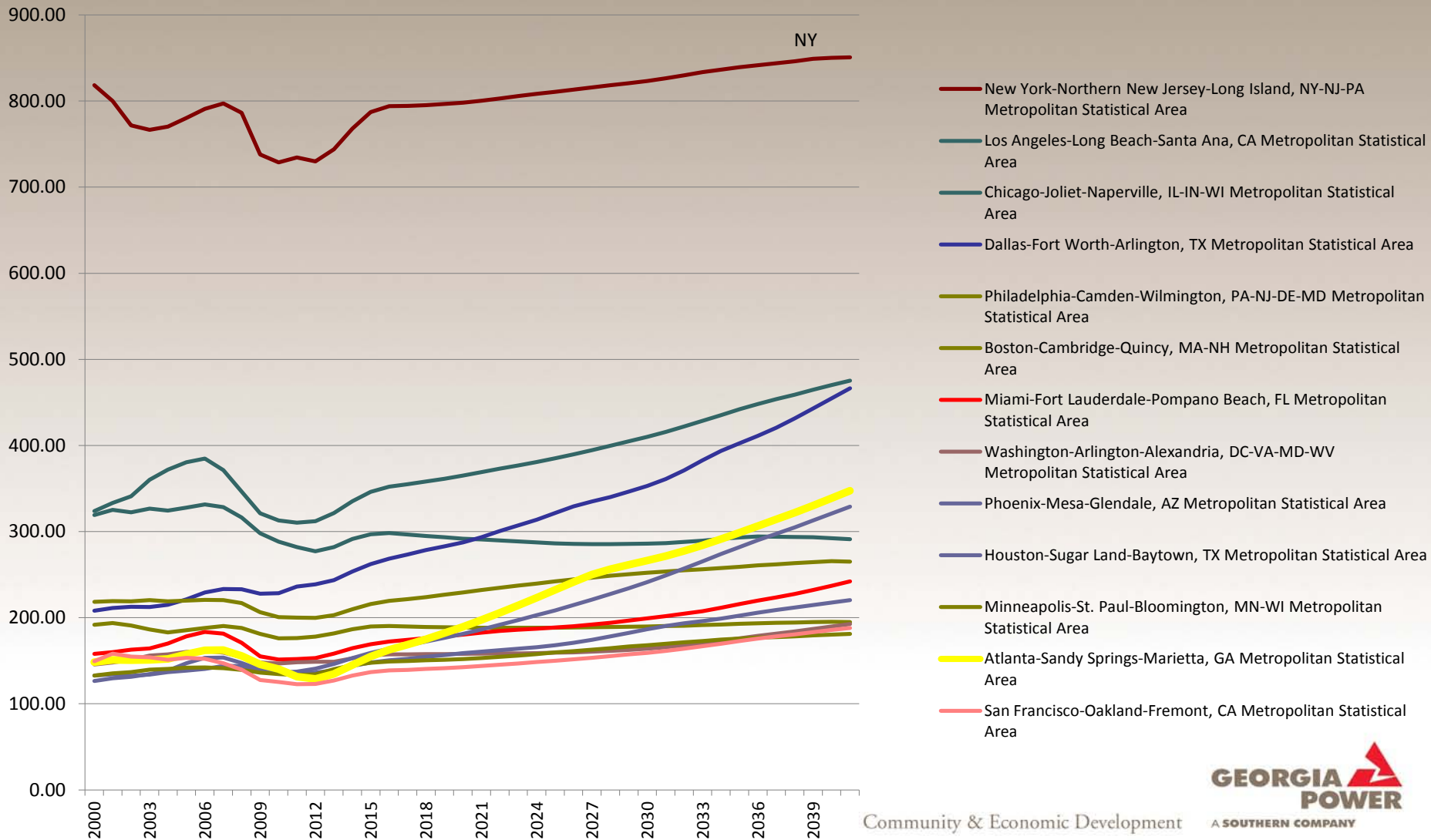


Community Economic Development





# Top Metro Markets in Financial Activities 2000 - 2040



# World-Class Business Center 2012 Fortune 1,000 Companies



- Fortune 500 HQ (13)
- Fortune 1000 HQ (13)

# Economic Development Trends

| Year | Locations | Capital Investment (\$B) | Jobs   |
|------|-----------|--------------------------|--------|
| 2007 | 88        | \$1.8                    | 13,418 |
| 2008 | 85        | \$1.8                    | 8,404  |
| 2009 | 78        | \$2.0                    | 10,429 |
| 2010 | 88        | \$2.6                    | 11,042 |
| 2011 | 80        | \$2.4                    | 10,231 |

# Major Project Announcements 2012 YTD

| Company                    | Industry/Facility                      | Jobs  | Community     |
|----------------------------|--|-------|---------------|
| LakePoint Sporting Complex | Tourism                                | 300   | Cartersville  |
| Caterpillar                | Construction equipment manufacturing   | 1,400 | Athens        |
| Dinex Group                | Emission control systems manufacturing | 250   | Dublin        |
| Anchor Glass               | Glass manufacturing                    | 400   | Warner Robins |
| Baxter International       | Pharmaceutical manufacturing           | 1,500 | Covington     |
| Elekta Inc.                | Headquarters and office operations     | 250   | Dunwoody      |
| Mohawk Industries          | Carpet manufacturing                   | 500   | Summerville   |
| State Farm                 | Back office operations                 | 500   | Dunwoody      |

Projects With 250 Jobs or Greater



# Episode VI



“What is a good Jedi to do to help Atlanta return to its rightful place in the universe?”

# What is a Good Jedi to Do?

- SHEP – Ports deepening
- International Terminal
- Beltline & Atlanta Street car
- Smart developments – opportunity at military bases
- \$200 Million Ponce City Market (Spring 2014) on the Beltline

# What is a Good Jedi to Do?

- The Transportation SPLOST is vital – Make sure you vote! July 31<sup>st</sup>
- Support K-12 Education improvements – Get your firm involved with GPEE
- Help make our communities better places to live and work – Care about what is going on and don't accept poor quality planning and design.

# Our Contact Information

## **Steve Foster, Sr. Urban Policy Advisor**

Georgia Power Community & Economic Development

[srfoster@southernco.com](mailto:srfoster@southernco.com)

## **Jennifer Zeller, Director of Research**

Community & Economic Development

[jzeller@southernco.com](mailto:jzeller@southernco.com)